



APPENDIX 1: TRASH COLLECTION ALTERNATIVES
SAN ANTONIO ROAD HOUSING
800/808 SAN ANTONIO ROAD
03/21/2024

#	DATE	ISSUES & REVISIONS	BY
10/26/22	11/29/22	ENTITLEMENT SET	
A	03/31/23	PLANNING APPLICATION SET	
B	11/7/23	PLANNING RESPONSE	
C	01/26/24	JAB RESPONSE	
D	02/28/24	C1 RESPONSE	
E	03/21/24	PLANNING REVISION	

PROJECT	TRUE
PROJECT	NORTH
DRAWN BY:	21.041
PROJECT NUMBER:	21.041
SHEET ISSUE DATE:	11/06/23
SHEET TITLE:	

KEY NOTES

1. PARKING - ACCESSIBLE / VAN ACCESSIBLE
2. PARKING - EV CHARGING
3. PARKING - STACKER SYSTEM (8'-0" W X 18' STALL DEPAIR CE-61)
4. 12"x12" FLOOR DRAIN (CONNECTED TO SAND OIL SEPARATOR)
5. TRASH ROOM DESIGN TO BE PROVIDED BY WASTE MANAGEMENT CONSULTANT INCLUDING CHUTES, BINS, COMPACTORS, VENTILATION, MEP REQ, VOLUME AND FREQUENCY CALCULATIONS. DESIGN TO INCLUDE REQUIRED DRAINAGE, DRAIN INTERCEPTOR, AND HOSE BIB FOR CLEANING. TRASH ROOM WALLS TO COMPOSE SCALLOP CONCRETE OR CHIM BLOCK.
6. OPENING ABOVE FOR TRASH, RECYCLING AND COMPOST CHUTE
7. VENTILATION OPENING ABOVE
8. 2 HR RATED CONSTRUCTION
9. SAND OIL SEPARATOR, 100 GALLONS MIN
10. VISITOR PARKING
11. EMERGENCY EGRESS STAIR, CBC 2022.1009
12. EGRESS ELEVATION IN 2HR SHAFT CBC 2022.3001.4, 118407.1009

SHEET NOTES

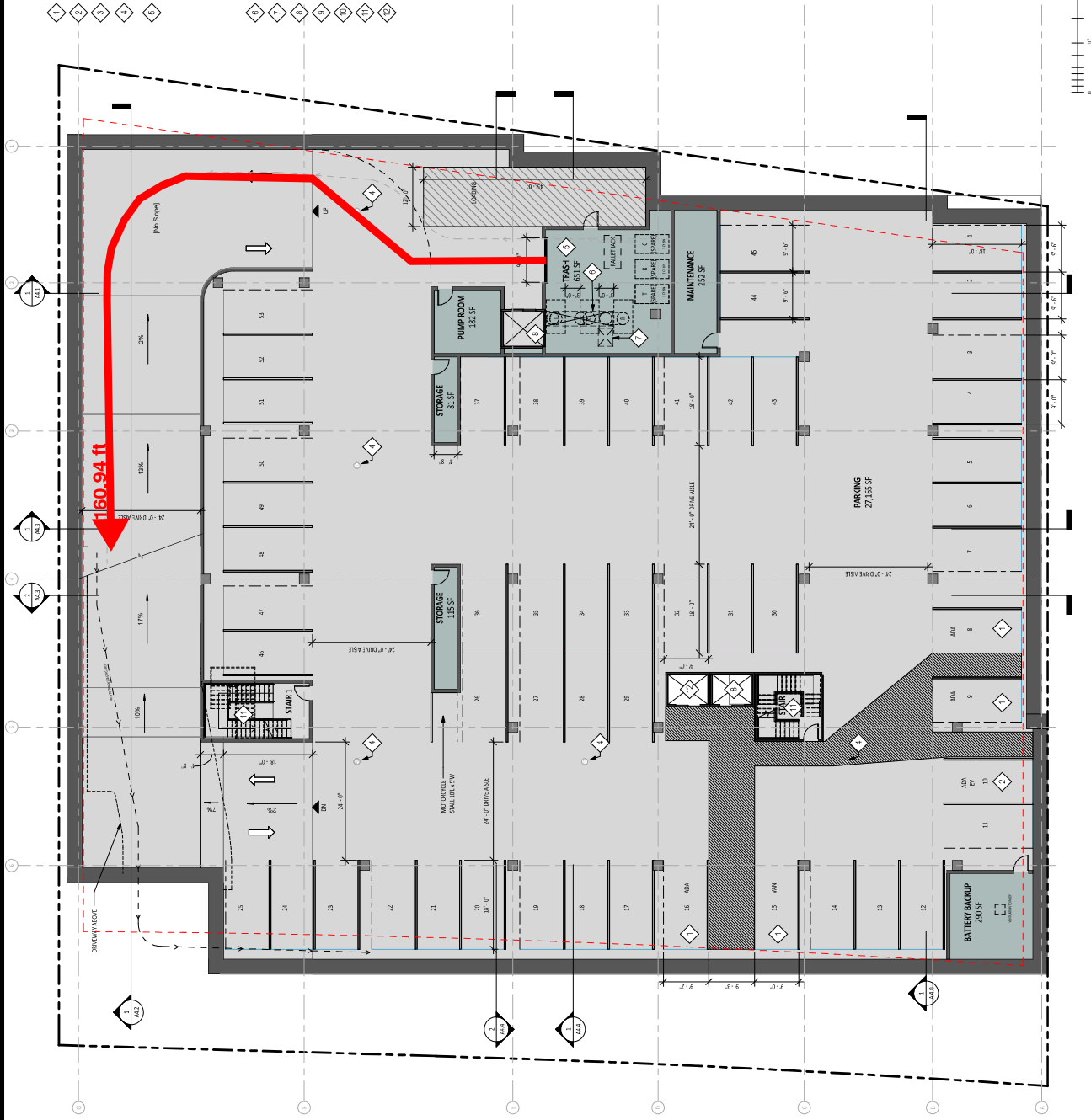
1. PARKING IN COMPLIANCE W/ CBC 2022.1009A, CALIFORNIA PER PARK AND ALL APPLICABLE CODE
2. MECHANICAL PARKING LIFT SYSTEM SHALL NOT BE USED FOR VEHICLES EXCEEDING 10,000 LBS
3. MECHANICAL PARKING SYSTEM TO BE ELEVATED PER PAMC 16.16.02 A4.01R8.2
4. SURFACE PARKING STALLS ARE 9'W X 18' L U.O.N.
5. SURFACE RAMP SLOPE NOT TO EXCEED SLOPES PER PAMC 16.54 FIGURE 5
6. COVERED PARKING DRAIN PLUMBING TO BE CONNECTED TO OIL/WATER SEPARATOR AND TO SANITARY SEWER SYSTEM PER PAMC 16.02.1009(B)
7. EMERGENCY POWER SYSTEM SHALL PROVIDE POWER TO ALL EMERGENCY EQUIPMENT, EGRESS, AND STORAGE BATTERIES, LIFT EQUIPMENT, OR ONE SITE GENERATOR INSTALLED PER CBC 2022.2005 SECTION 1008.3

PARKING COUNTS:
BASEMENT LEVEL 1: 53 SPACES
BASEMENT LEVEL 2: 95 SPACES
(9 SURFACE / 86 STACKERS)

TOTAL: 148 SPACES (143 REQUIRED)

5. ACCESSIBLE PARKING (INCL. 1 VAN AND 1 EV)
- 75 EVSE-READY OUTLETS

WASTE & RECYCLE
1 WASTE CHUTE
1 RECYCLE CHUTE
1 COMPOST CHUTE





ARCHITECT
LOWNEY ARCHITECTURE
360 17th Street, Suite 200
Oakland, CA 94612
Phone: 510.836.5400

LANDSCAPE ARCHITECT
HMH
1570 Oakland Road

NOT FOR
CONSTRUCTION

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B	11/7/23	ARB RESPONSE	
C	01/26/24	C4 RESPONSE	
D	02/28/24	PLANNING REVISION	
E	03/21/24	C6 RESPONSE	



DRAWN BY: 21-041
PROJECT NUMBER: 11/06/23
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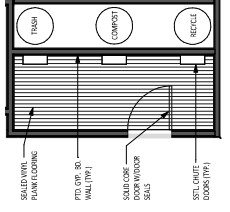
A2.1

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1. SEE CIVIL DRAWINGS FOR DOWDIE SITE UTILITY PLANS, GRADING, DRAINAGE & STORM WATER TREATMENT
2. SEE LANDSCAPE DRAWINGS FOR FIVE GRADING, PAVING, PLANNING AND IRRIGATION PLAN
3. ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES TAKEN FROM INTERIOR WALL WALL
4. DESIGNATED BELOW MARKET RATE UNITS ARE INDICATED ON PLAN AS MEDIUM INCOME (M), LOW INCOME (L), VERY LOW INCOME (VL)
5. ALL INTERIOR STAIRWAYS PER CBC 1023, 11B-210
6. ELVATIONS PER CBC 1009, 3001.4, 11B-406
7. PROVIDE PVC CONDUIT FROM TRANSFORMER AND SWITCH PAD TO (E) ELECTRICAL BOX

1	MAIN BUILDING ENTRY
2	2" HAT P/2 HAT CONSTRUCTION
3	DEFO DEFLECT/UP ASSIST BME BACK OR SMA
4	PER PAMC 18.3-4.00
5	BATTERY ROOM 2 HAT VENTILATION SHUT
6	WINNING ABOVE 2 CONSTRUCTION 2/AL 1
7	LEGERS SLOPE IN 2ND SHUT 2/AL 1
8	LEGERS SLOPE IN 2ND SHUT 2/AL 1
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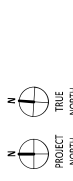
Name	Count
1 BR	7
2 BR	5
3 BR	1
Grand total:	13



ENLARGED TRASH ROOM PLAN
1/4" = 1'-0"



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E	03/21/24	PLANNING REVISION	



DRAWN BY: 21.041
PROJECT NUMBER: 11/06/23
SHEET ISSUE DATE: 11/06/23
SHEET TITLE: BASEMENT LEVEL 1

KEY NOTES

1. PARKING - ACCESSIBLE / VAN ACCESSIBLE
2. PARKING - EV CHARGING
3. PARKING - STACKER SYSTEM
4. (8'-0" W) X (18'-0" D) STALL PARKING DE-61
5. 12'-0" X 12'-0" FLOOR DRAIN
6. TRASH ROOM DESIGN TO BE PROVIDED BY WASTE MANAGEMENT CONSULTANT INCLUDING CHUTES, BIN, COMPACTORS, VENTILATION, MEP REQ, VOLUME AND FREQUENCY CALCULATIONS. DESIGN TO INCLUDE REQUIRED DRAINAGE, DRAIN INTERCEPTOR, AND HOSE BIB FOR CLEANING. TRASH ROOM WALLS TO COMPOSE SCALLOP CONCRETE OR CHIM BLOCK.
7. OPENING ABOVE FOR TRASH, RECYCLING AND COMPOST CHUTE
8. VENTILATION OPENING ABOVE
9. 2 HR RATED CONSTRUCTION
10. SAND OIL SEPARATOR, 100 GALLONS MIN
11. VISITOR PARKING
12. EMERGENCY EGRESS STAIR, CBC 2022.1009
13. EGRESS ELEVATION IN 2HR SHAFT
14. CBC 2022.3001.4, 118407, 1009

SHEET NOTES

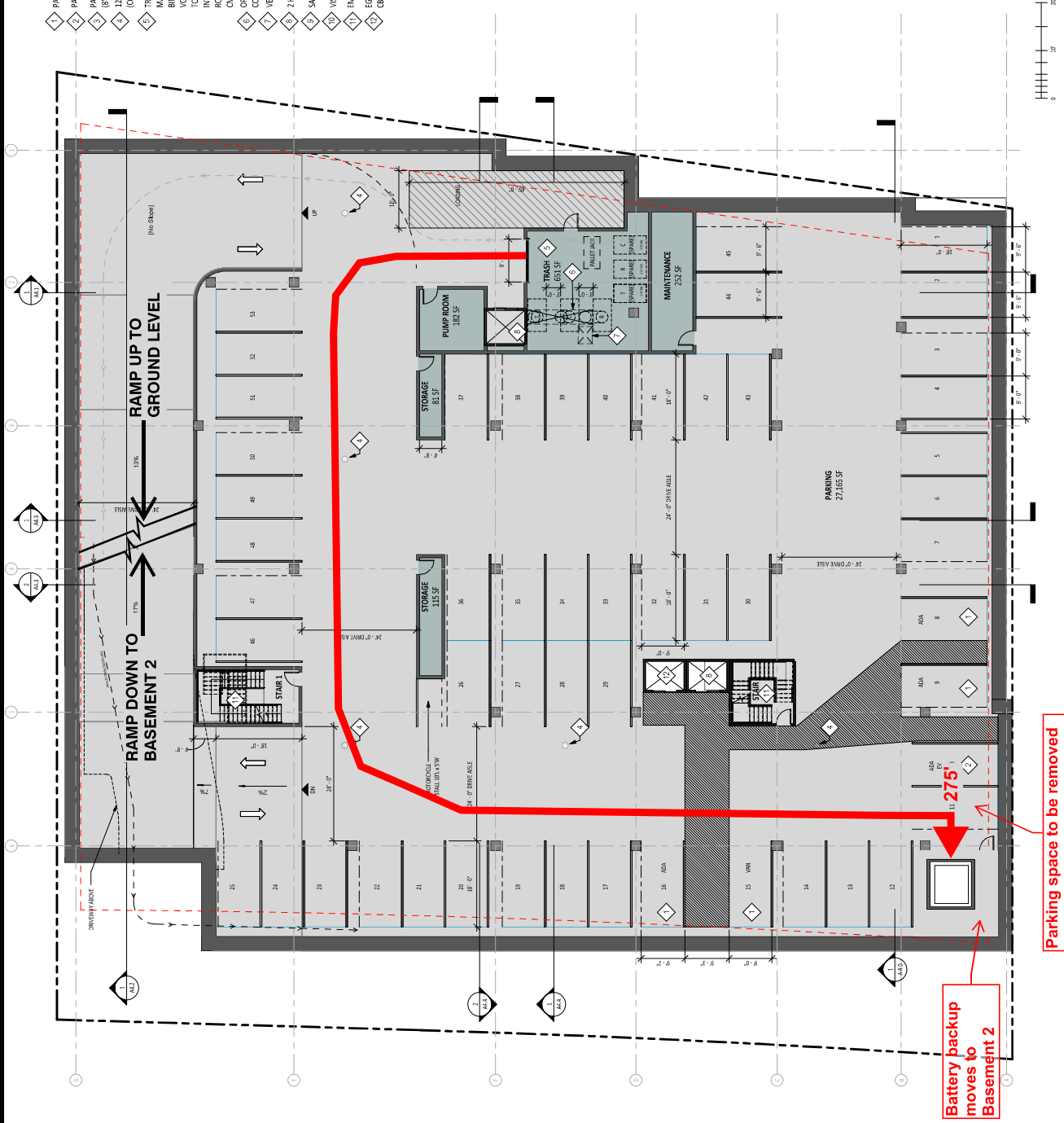
1. PARKING IN COMPLIANCE W/ CBC 2022.1009A, CALIFORNIA PERMITS AND ALL APPLICABLE CODE
2. MECHANICAL PARKING LIFT SYSTEM SHALL NOT BE USED FOR VEHICLES EXCEEDING 10,000 LBS
3. MECHANICAL PARKING SYSTEM TO BE ELEVATOR
4. PER PAMC 16.14.020 A.0108.02
5. SURFACE PARKING STALLS ARE 9'W X 18' L O.D.
6. SURFACE RAMP SLOPE NOT TO EXCEED SLOPE PER PAMC 16.14.020 FIGURE 5
7. COVERED PARKING DRAIN PLUMBING TO BE CONNECTED TO OIL/WATER SEPARATE AND TO SANITARY SEWER SYSTEM PER PAMC 16.02.1001(B)(9)
8. EMERGENCY POWER SYSTEM SHALL PROVIDE POWER TO ALL EMERGENCY EQUIPMENT AND CHUTE
9. PER STORAGE BATTERIES, LIMIT EQUIPMENT OR CHUTE GENERATOR INSTALLED PER CBC 2022 SECTION 1008.3

PARKING COUNTS:
BASEMENT LEVEL 1: 53 SPACES
BASEMENT LEVEL 2: 95 SPACES
(8 SURFACE / 86 STACKERS)

TOTAL: 148 SPACES (143 REQUIRED)

5. ACCESSIBLE PARKING (INCL. 1 VAN AND 1 DV)
- 75 EVSE-READY OUTLETS

WASTE & RECYCLE
1 WASTE CHUTE
1 RECYCLE CHUTE
1 COMPOST CHUTE



OWNER
TS 800 SA, LLC
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Phone: 408.487.2200

LANDSCAPE ARCHITECT
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San Jose, CA 95131
Phone: 408.487.2200

NOT FOR
CONSTRUCTION

STAMP

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11/29/22	11/29/22	PLANNING APPLICATION SET	
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C	01/26/24	C2 RESPONSE	
D	02/28/24	PLANNING REVISION	
E	03/21/24	C6 RESPONSE	

PROJECT
TRUE
NORTH
NORTH

DRAWN BY: 21.041
PROJECT NUMBER: 11/06/23
SHEET ISSUE DATE:
SHEET TITLE:

GROUND FLOOR PLAN

SHEET NUMBER
A2.1

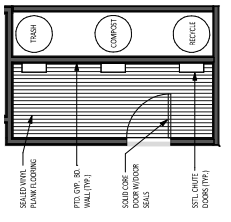
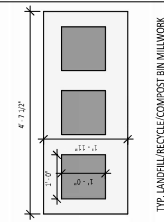
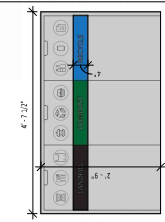
SHEET NOTES

- SEE CIVIL DRAWINGS FOR ON-SITE UTILITY PLANS, GRADING, DRAINAGE & STORM WATER TREATMENT.
- SEE ARCHITECTURAL DRAWINGS FOR FIRE BRIGADE SAVING, LANDING AND BRIGADE PLAN.
- ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES TAKEN FROM INTERIOR WALL TO WALL.
- DESIGNATED BELOW MARKET RATE UNITS ARE INDICATED ON PLAN AS MEDIUM INCOME (MI), LOW INCOME (LI), VERY LOW INCOME (VLI).
- SENIOR SHARED PER CEC 1023, 118.201.
- ELEVATORS PER CEC 3009, 3001.4, 11B-407.
- PROVIDE PWC CONDUIT FROM TRANSFORMER AND SWITCH PAD TO (E) ELECTRICAL BOX.

KEY NOTES

- MAIN BUILDING ENTRY
- 2-HR RATED SHUT CONSTRUCTION
- SEDO DESIGS LIFT ASSIST BICYCLE RACK OR SIM, PER PAMC 18.54.160
- BATTERY ROOM 2-HR VENTILATION SHUT
- AWINGS ABOVE, SEE SECTION 2/44.1
- EGRESS ELEVATOR IN 2HR SHUT
- 2-HR STANDPIPE HOSE VALVE
- INTERIOR INTERLOCKED V BICYCLE RACK PER PAMC 18.54.160
- PAD-MOUNTED TRANSFORMER PER CALIF. REQUIREMENTS
- FIRE STANDPIPE HOSE VALVE
- FIRE DEPARTMENT CONNECTION
- PATIO WITH NO FENCE
- TRASH, RECYCLING, COMPOST CHUTE IN 2HR RATED SHUT
- EMERGENCY EGRESS STAIR
- DOWNPOUTS, TYP.
- TRASH STAGING
- TRASH RECYCLING/COMPOST BIN MILLWORK

Name	Count
1 BR	7
2 BR	5
3 BR	1
Grand total:	13



61-sf residential open space displaced

22'

105 sf residential program displaced in below-market-rate unit

TOTAL DISTANCE: +/-297'

OWNER
TS 800 SA, LLC
15000 S. San Antonio Road
Suite 200, CA 95070
Phone: 408.781.7866

ARCHITECT
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Phone: 510.836.5400

CIVIL ENGINEERING
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1570 Oakland Road
San Jose, CA 95131
Phone: 408.487.2200

LANDSCAPE ARCHITECT
HMH
1570 Oakland Road
San Jose, CA 95131
Phone: 408.487.2200

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E	03/21/24	PLANNING REVISION	
		C6 RESPONSE	



DRAWN BY: 21.041
PROJECT NUMBER:
SHEET ISSUE DATE: 11/06/23
SHEET TITLE:

LEVEL 2 FLOOR PLAN

SHEET NUMBER

A2.2

ALL DRAWINGS ARE UNLESS OTHERWISE SPECIFIED TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE.

SHEET NOTES

1. ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES THEN FROM INTERIOR WALL TO WALL.
2. DESIGNER SHALL PROVIDE MARKET RATE UNITS, INCOME (MIL), LOW INCOME (LIL), VERY LOW INCOME (VLI), LOW INCOME (LI), VERY LOW INCOME (VLI).
3. ALL INTERIOR STAIRWAYS PER CBC 1003, 11B-210.
4. ELEVATORS PER CBC 1009, 3001.4, 11B-407.
5. BALCONY DIMENSIONS TO PROPERTY LINE SAME FOR LEVELS 2, 3, AND 4.

KEY NOTES

1. EMERGENCY EGRESS STAIR
2. CBC 2022.1009
3. 2-HR RATED SHAFT
4. COVERED SOFFIT UNDER AWNING/ARCHITECTURAL PROJECTION, 4" MIN. DEPTH
5. ROOF BELOW
6. BATTERY ROOM 2-HR VENTILATION SHAFT
7. EGRESS ELEVATOR IN 2-HR SHAFT
8. CBC 2022.3001.4, 11B407.1009
9. FIRE STANDPIPE HOSE VALVE
10. DECORATIVE METAL FIN
11. TRASH, RECYCLING, COMPOST CHUTE IN 2-HR RATED SHAFT

Name	Count
2 BR	11
3 BR	4
Grand total:	15



90 sf residential program lost Level 2 unit for elevator overrun (14'-6" vs. 11'-4" floor to floor). Balcony displaced.

STAMP

NOT FOR
CONSTRUCTION

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D	02/28/24	PLANNING REVISION	
E	03/21/24	C6 RESPONSE	



DRAWN BY: Author
PROJECT NUMBER: 21-041
SHEET ISSUE DATE: 11/06/23
SHEET TITLE:

VIEW FROM
SAN ANTONIO

SHEET NUMBER

A0.6a

ALL DRAWINGS ARE UNLESS OTHERWISE SPECIFIED IN THE NOTES AND SHALL BE CONSIDERED TO BE THE PROPERTY OF LOWNEY ARCHITECTURE, INC.



REVISED DESIGN

STAMP

NOT FOR
CONSTRUCTION

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DRAWN BY: 21.041
PROJECT NUMBER: 11/06/23
SHEET ISSUE DATE: 11/06/23
SHEET TITLE: BASEMENT LEVEL 1

SHEET NUMBER
A2.0B

KEY NOTES

1. PARKING - ACCESSIBLE / VAN ACCESSIBLE
2. PARKING - EV CHARGING
3. PARKING - STACKER SYSTEM (8'-0" W X 18' STALL PARK DE-61)
4. 12"x12" FLOOR DRAIN (CONNECTED TO SAND OIL SEPARATOR)
5. TRASH ROOM DESIGN TO BE PROVIDED BY WASTE MANAGEMENT CONSULTANT INCLUDING CHUTES, BINS, COMPACTORS, VENTILATION, MEP REQ, VOLUME AND FREQUENCY CALCULATIONS. DESIGN TO INCLUDE REQUIRED DRAINAGE, DRAIN INTERCEPTOR, AND HOSE BIB FOR CLEANING. TRASH ROOM WALLS TO COMPOSE SCALLOP CONCRETE OR CHIM BLOCK.
6. OPENING ABOVE FOR TRASH, RECYCLING AND COMPOST CHUTE
7. VENTILATION OPENING ABOVE
8. 2 HR RATED CONSTRUCTION
9. SAND OIL SEPARATOR, 100 GALLONS MIN
10. VISITOR PARKING
11. EMERGENCY EGRESS STAIR, CBC 2022.1009
12. EGRESS ELEVATION IN 2HR SHAFT CBC 2022.3001.4, 118407.1009

SHEET NOTES

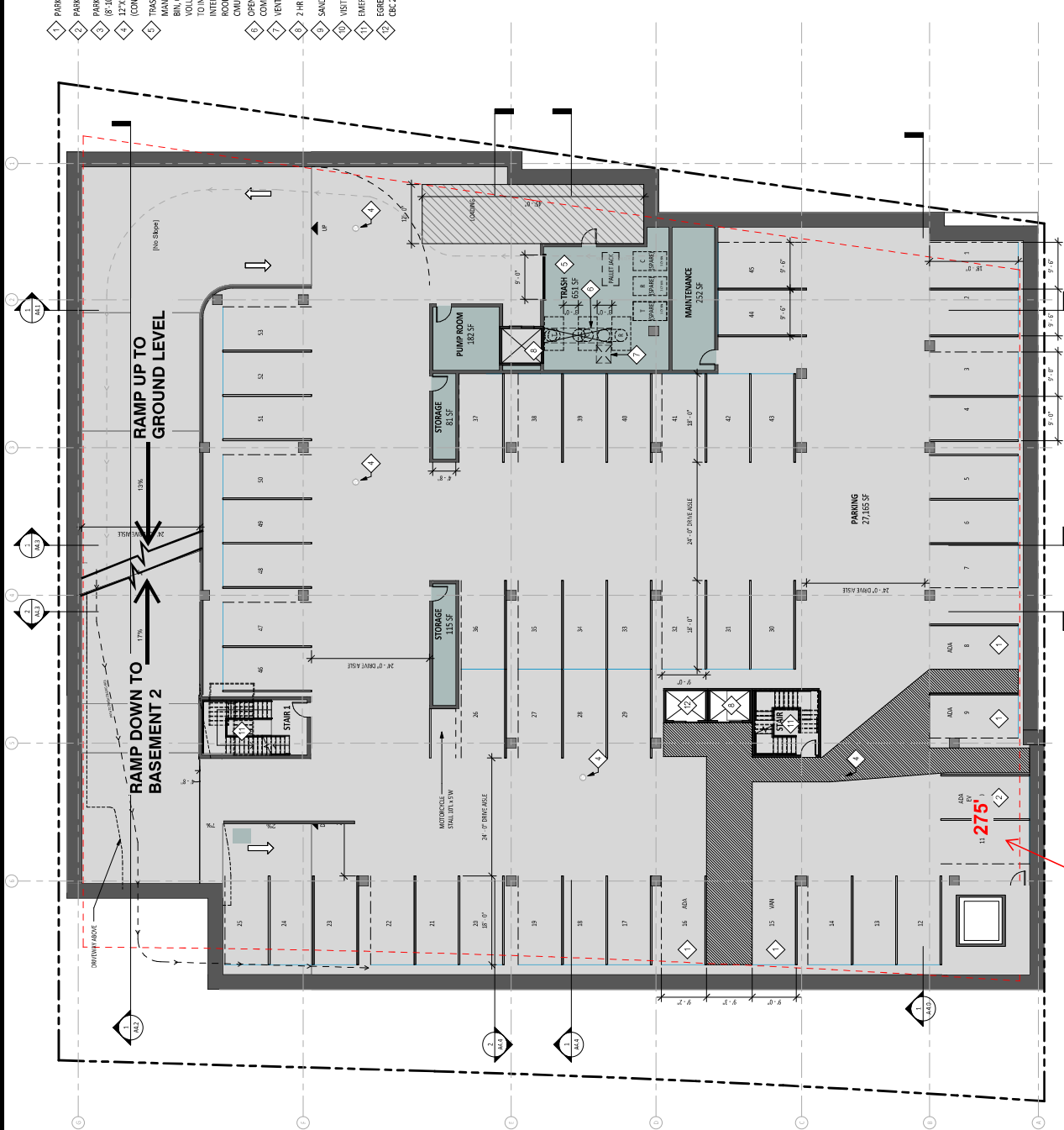
1. PARKING IN COMPLIANCE W/ CBC 2022.1009A, CALGREEN PER PAMC AND ALL APPLICABLE CODE
2. MECHANICAL PARKING LIFT SYSTEM SHALL NOT BE USED FOR VEHICLE ACCESS
3. MECHANICAL PARKING SYSTEM TO BE ELEV 4.007 PER PAMC 16.14.020.4.AUDIR.8.2
4. SURFACE PARKING SLOPE ARE 9% W/ 1.81' L/O IN
5. SURFACE RAMP SLOPE NOT TO EXCEED SLOPED PER PAMC 16.54 FIGURE 5
6. COVERED PARKING DRAIN PLUMBING TO BE CONNECTED TO OIL/WATER SEPARATE AND TO SANITARY SEWER SYSTEM PER PAMC 16.02.160.019
7. EMERGENCY POWER SYSTEM SHALL PROVIDE POWER TO ALL EMERGENCY EQUIPMENT ON SITE. GENERATOR INSTALLED PER CBC 2022.2005 SECTION 1008.3

PARKING COUNTS:
BASEMENT LEVEL 1: 53 SPACES
BASEMENT LEVEL 2: 95 SPACES
(9 SURFACE / 86 STACKERS)

TOTAL: 148 SPACES (143 REQUIRED)

5. ACCESSIBLE PARKING (INCL 1 VAN AND 1 EV)
- 75 EVSE-READY OUTLETS

WASTE & RECYCLE
1 WASTE CHUTE
1 RECYCLE CHUTE
1 COMPOST CHUTE



Parking space to be removed



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Oakland, CA 94612
Phone: 510.836.5400

LANDSCAPE ARCHITECT
HMH
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San Jose, CA 95131
Phone: 408.487.2200

STAMP

NOT FOR
CONSTRUCTION

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D	02/28/24	PLANNING REVISION
E	03/21/24	CG RESPONSE

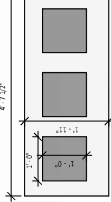
		DRAWN BY: PROJECT NUMBER: SHEET ISSUE DATE: SHEET TITLE:	21-0 11/06/
TRUE NORTH	PROJECT NORTH		

GROUND FLOOR PLAN

SHEET NUMBER

ALL CLAIMS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE AUTHOR AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE AUTHOR.

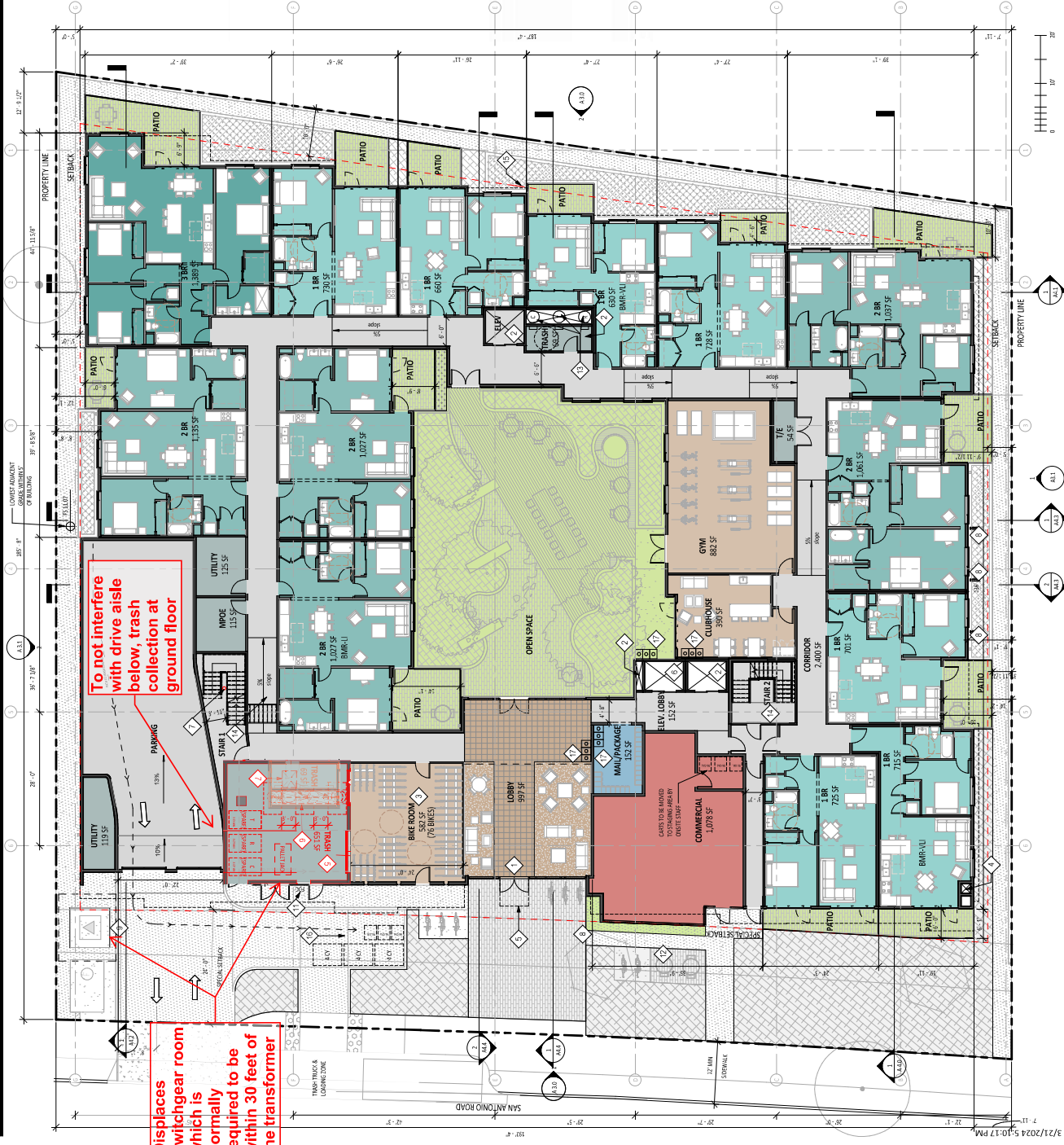
Name	Count
1BR	7
2BR	5
3BR	1
Grand total:	13



A top-down diagram of a kitchen layout. At the top, three circular icons are labeled 'TOWEL', 'COMFORT', and 'RECYCLE'. Below these are three rectangular units. The main kitchen area contains a 'SINK' and a 'STOVE'. A 'CABINET' is located on the right side. A 'DOOR' is shown at the bottom right. A 'WALL' is indicated on the left side. A 'FLOOR' is shown at the bottom. A 'CEILING' is indicated at the top. A 'SOLID CORE' is shown in the center. A 'DOOR WINDOW' is shown on the right. A 'STL. CHUTE' is shown at the bottom right. A 'DOOR (TYPE)' is shown at the bottom right. A 'SINK' is shown on the left. A 'STOVE' is shown on the right. A 'CABINET' is shown on the right. A 'DOOR' is shown at the bottom right. A 'WALL' is indicated on the left side. A 'FLOOR' is shown at the bottom. A 'CEILING' is indicated at the top. A 'SOLID CORE' is shown in the center. A 'DOOR WINDOW' is shown on the right. A 'STL. CHUTE' is shown at the bottom right. A 'DOOR (TYPE)' is shown at the bottom right.

Labels in the diagram include: TOWEL, COMFORT, RECYCLE, SINK, STOVE, CABINET, DOOR, WALL, FLOOR, CEILING, SOLID CORE, DOOR WINDOW, STL. CHUTE, and DOOR (TYPE).

ENLARGED TRASH ROOM PLAN
1/4" = 1'-0"



Displaces switchgear room which is normally required to be within 30 feet of the transformer

OWNER
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15800 SA, LLC
15800 San Antonio Road
San Jose, CA 95120
Phone: 408.781.7866

ARCHITECT
LOWNEY ARCHITECTURE
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Oakland, CA 94612
Phone: 510.836.5400

CIVIL ENGINEERING
HMH
1570 Oakland Road
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LANDSCAPE ARCHITECT
HMH
1570 Oakland Road
San Jose, CA 95131
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STAMP

NOT FOR
CONSTRUCTION

#	DATE	ISSUES & REVISIONS	BY
10/26/22	10/26/22	ENTITLEMENT SET	
11/29/22	11/29/22	PLANNING APPLICATION SET	
A	03/31/23	PLANNING RESPONSE	
B	11/17/23	JAB RESPONSE	
C	01/26/24	CJ RESPONSE	
D	02/28/24	PLANNING REVISION	
E	03/21/24	C6 RESPONSE	



DRAWN BY: 21.041
PROJECT NUMBER: 11/06/23
SHEET ISSUE DATE: 11/06/23
SHEET TITLE: LEVEL 3 FLOOR PLAN

SHEET NUMBER
A2.3

ALL DRAWINGS ARE UNLESS OTHERWISE SPECIFIED TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE.

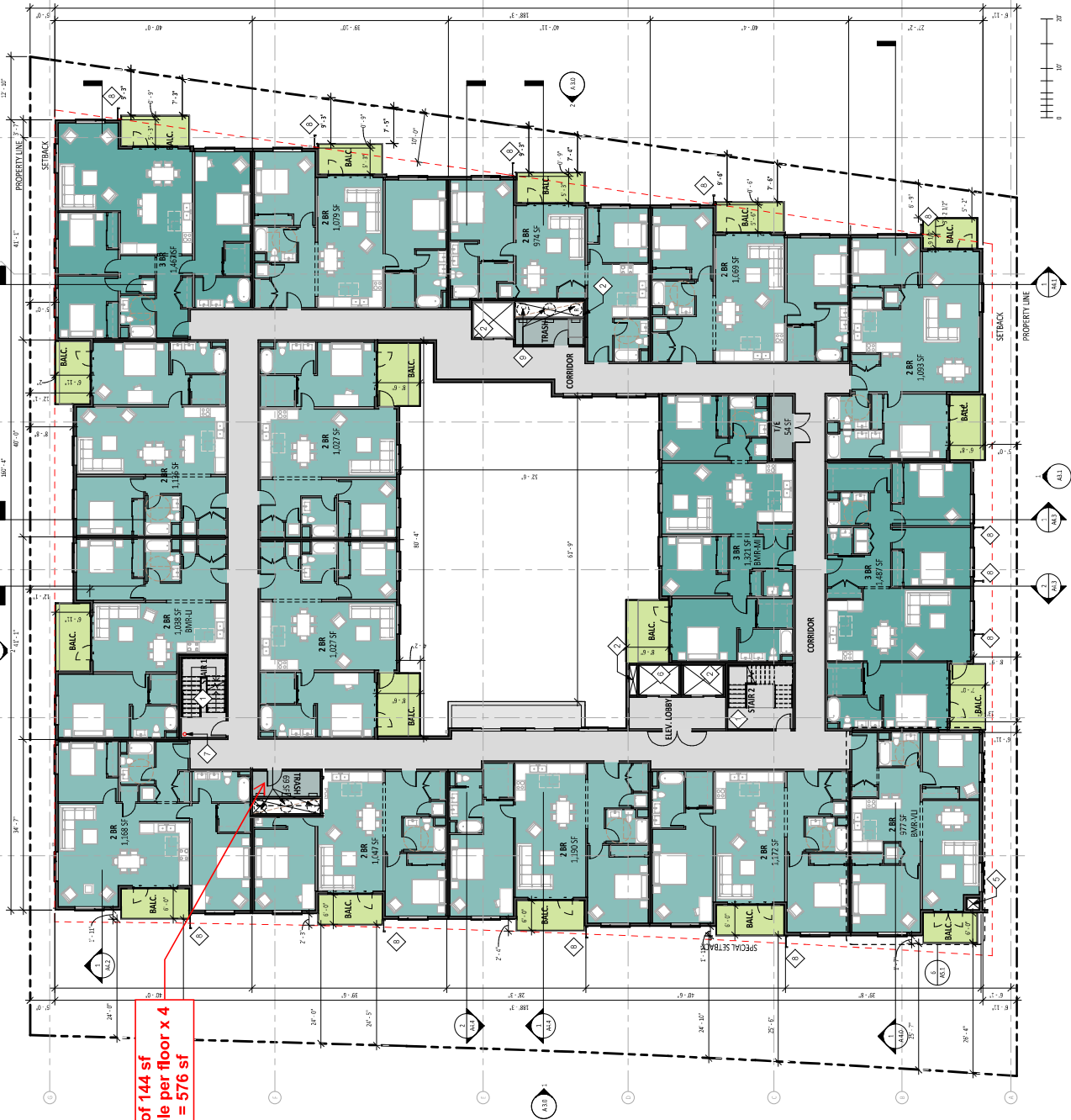
SHEET NOTES

1. ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES THEN FROM INTERIOR WALL TO WALL.
2. DESIGNER SHALL PROVIDE MARKET RATE UNITS, INCOME (MIL LOW INCOME (LUI), VERY LOW INCOME (VLI), LOW INCOME (LI), VERY LOW INCOME (VLI).
3. ALL INTERIOR STAIRWAYS PER CBC 1003, 11B-210
4. ELEVATORS PER CBC 1009, 3001.4, 11B-407
5. BALCONY DIMENSIONS TO PROPERTY LINE SAME FOR LEVELS 2, 3, AND 4

KEY NOTES

1. EMERGENCY EGRESS SHAFT
2. CBC 2022.1009
3. 2-HR RATED SHAFT
4. COVERED SOFFIT UNDER AWNING/ARCHITECTURAL PROJECTION, 4" MIN. DEPTH
5. ROOF BELOW
6. BATTERY ROOM 2-HR VENTILATION SHAFT
7. EGRESS ELEVATOR IN 2-HR SHAFT
8. CBC 2022.3001.4, 11B407.1009
9. FIRE STANDPIPE HOSE VALVE
10. DECORATIVE METAL FIN
11. TRASH, RECYCLING, COMPOST CHUTE IN 2-HR RATED SHAFT

Name	Count
2 BR	13
3 BR	3
Grand total:	16



Loss of 144 sf
sellable per floor x 4
floors = 576 sf

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CONSTRUCTION

#	DATE	ISSUES & REVISIONS	BY
10/26/22	10/26/22	ENTITLEMENT SET	
11/29/22	11/29/22	PLANNING APPLICATION SET	
A	03/31/23	PLANNING RESPONSE	
B	11/17/23	JAB RESPONSE	
C	01/26/24	C1 RESPONSE	
D	02/28/24	PLANNING REVISION	
E	03/21/24	C6 RESPONSE	



DRAWN BY: 21.041
PROJECT NUMBER: 11/06/23
SHEET ISSUE DATE: 11/06/23
SHEET TITLE: LEVEL 4 FLOOR PLAN

SHEET NUMBER
A2.4

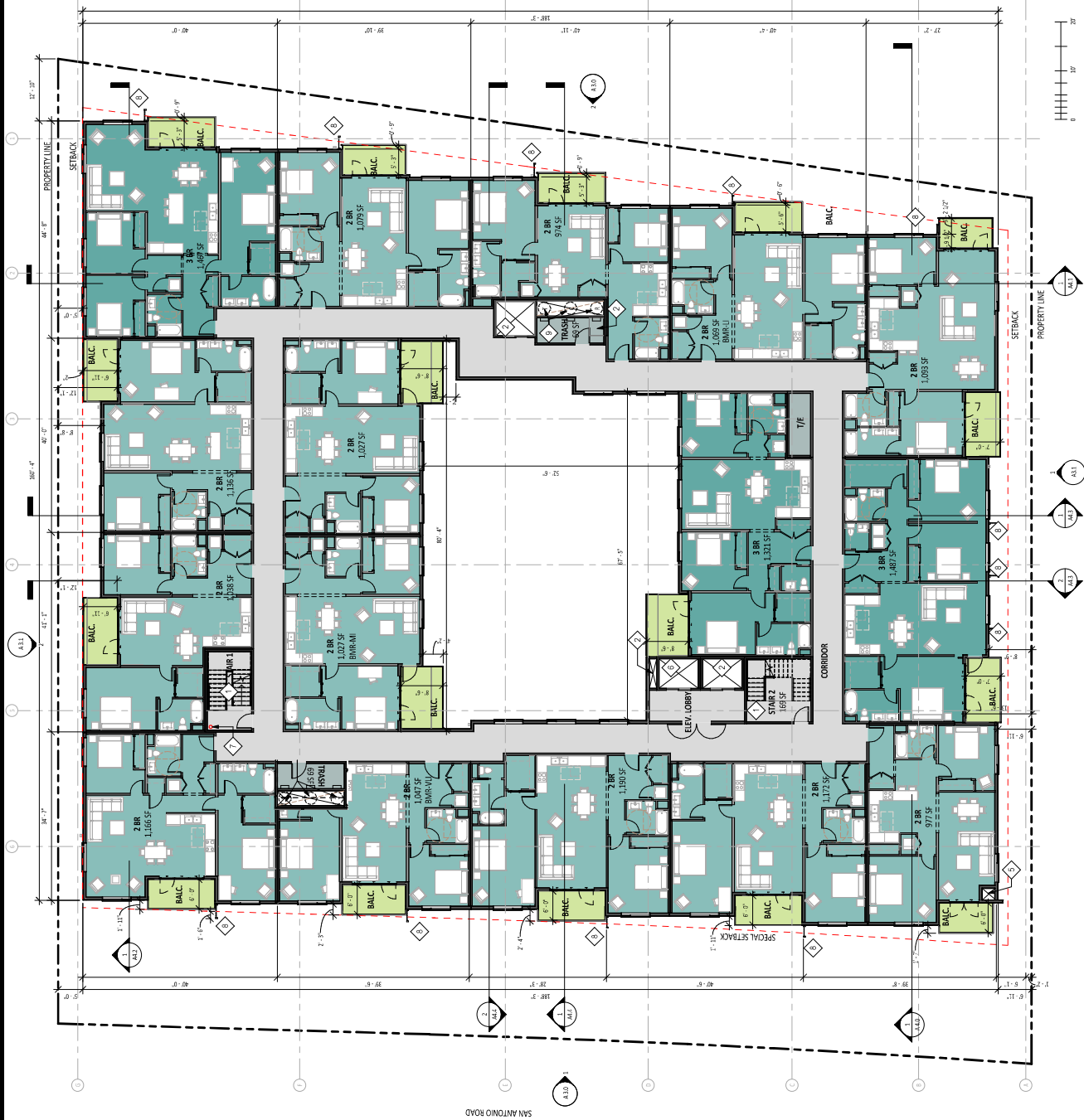
SHEET NOTES

- ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES THEN FROM INTERIOR WALL TO WALL.
- DESIGNER SHALL PROVIDE MARKET RATE UNITS, INCOME (W/), LOW INCOME (W/), VERY LOW INCOME (W/), AND HOMEOWNERS (W/).
- ALL INTERIOR STAIRWAYS PER CBC 1003, 11B-210
- ELEVATORS PER CBC 1009, 3001.4, 11B-407
- BALCONY DIMENSIONS TO PROPERTY LINE SAME FOR LEVELS 2, 3, AND 4

KEY NOTES

- EMERGENCY EGRESS STAIR
- CBC 2022.1009
- 2-HR RATED SHAFT
- COVERED SOFFIT UNDER AWNING/ARCHITECTURAL PROJECTION, 4" MIN. DEPTH
- ROOF BELOW
- BATTERY ROOM 2-HR VENTILATION SHAFT
- EGRESS ELEVATOR IN 2-HR SHAFT
- CBC 2022.3001.4, 11B407.1009
- FIRE STANDPIPE HOSE VALVE
- DECORATIVE METAL FIN
- TRASH, RECYCLING, COMPOST CHUTE IN 2-HR RATED SHAFT

Name	Count
2 BR	13
3 BR	3
Grand total:	16



STAMP

NOT FOR
CONSTRUCTION

#	DATE	ISSUES & REVISIONS	BY
10/26/22	11/29/22	ENTITLEMENT SET	
A	03/31/23	PLANNING APPLICATION SET	
B	11/17/23	PLANNING RESPONSE	
C	01/26/24	ARB RESPONSE	
D	02/28/24	C1 RESPONSE	
E	03/21/24	PLANNING REVISION	
		C6 RESPONSE	



DRAWN BY: 21.041
PROJECT NUMBER: 11/06/23
SHEET ISSUE DATE: 11/06/23
SHEET TITLE: LEVEL 5 FLOOR PLAN

SHEET NUMBER
A2.5

ALL DRAWINGS ARE UNLESS OTHERWISE SPECIFIED TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA MECHANICAL CODE (CMC).

SHEET NOTES

- ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES THEN FROM INTERIOR WALL TO WALL.
- DESIGNATED BELOW MARKET RATE UNITS INCLUDE ONE LOW INCOME (LI), ONE VERY LOW INCOME (VLI), AND ONE LOW INCOME (LI) UNIT.
- ALL INTERIOR STAIRWAYS PER CBC 1003.11B-210
- ELEVATORS PER CBC 1009.3001.4, 11B-407
- BALCONY DIMENSIONS TO PROPERTY LINE SAME FOR LEVELS 2, 3, AND 4

KEY NOTES

- EMERGENCY EGRESS STAIR
- CBC 2022.1009
- 2-HR RATED SHAFT
- COVERED SOFFIT UNDER AWNING/ARCHITECTURAL PROJECTION, 4" MIN. DEPTH
- ROOF BELOW
- BATTERY ROOM 2-HR VENTILATION SHAFT
- EGRESS ELEVATOR IN 2-HR SHAFT
- CBC 2022.3001.4, 11B407.1009
- FIRE STANDPIPE HOSE VALVE
- DECORATIVE METAL FIN
- TRASH, RECYCLING, COMPOST CHUTE IN 2-HR RATED SHAFT

Name	Count
2 BR	10
3 BR	5
Grand Total:	15

